

Staff Report – Agenda Item # 1

Case number	BZA-2026-02	Property size	0.24 ac
Property address	203 Kerr Dr	Property zoning	R1 (Suburban Res.)
Applicant(s)	Mark Bobay		
Property owner(s)	Mark Bobay		

Requested action:

UDO V 3.2.6.J Approval of the Variance of Development Standards in the Suburban Residential zoning district to permit the construction of a 2-car garage to encroach on the required 10-foot setback.

Recommendation:

APPROVE with conditions

Exhibits:

- | | |
|--------------------------------------|--------------------------------|
| 1. Location map | 5. Staff site plan translation |
| 2. Zoning map | 6. 2026 Property Card |
| 3. Application | 7. Original plat |
| 4. Original site plan and elevations | 8. Revised site plan |

ABOUT PROJECT

Location

The subject site is located at 203 Kerr Drive (see Figure 1 here and Exhibit 1. Vicinity Map), directly west of Woodward Park. The base zoning is Suburban Neighborhood (R1), and it is surrounded by more R1 on all sides except for Woodward Park to the east, which is zoned Parks and Open Space (Po).

Proposal

The petitioner would like to construct a 2-car garage encroaching on the required side setback.

The site plan (Exhibit 4) shows a 24' x 30' garage located 5 feet from the east side property line and 8 feet from the house. The elevations (also Exhibit 4) show an enclosed structure with a gabled roof and exterior siding for the wall finish.



Figure 1. Project Site Location

ANALYSIS

Analysis of Code Citation

V 3.2.6.J of the Lapel UDO requires that detached garages meet the side setback requirements in V 3.2.4. which requires a minimum side setback of 10 feet. The intent behind setback regulations is to create some space and provide a buffer between structures, particularly when those structures house different and incompatible uses. The neighboring property to the east is Woodward Park, which has no structures directly east of the proposed location. There is a structure on the west side of the park, but it is south enough to be more in line with the property and structure south of the subject parcel, so the intent of providing space between structures is not exactly relevant. A visitor to the park is unlikely to notice if a structure were to encroach a few feet upon this required minimum, and it therefore is unlikely to pose as a nuisance to the public.



Figure 2. There is an existing 1-car attached garage with driveway to the right. The proposed detached garage would be to the left and would likely take advantage of the unpaved drive leading to the gate.

Need for Variance

The petitioner claims that the existing one-car garage (see Figure 2, above) "has limited space available for additional parking and storage." Any additional vehicles would have to be parked on the driveway and/or the street, both of which may be visually less desirable than having the vehicles parked inside a garage. There is also the safety issue that on-street parking poses in terms of obstructing sight lines, though this is mitigated in this case by the fact that Kerr Drive ends in front of this property. It is also worth noting that garages are used not just to enclose parked vehicles, but to provide work areas and additional household and yard storage. County property records (Exhibit 6) show that the attached garage is 12' x 24', so the proposed detached garage would more than triple the total garage space on the property. In summary, the proposed garage is not a necessity, but the petitioner believes it will enhance their use and enjoyment of the property.

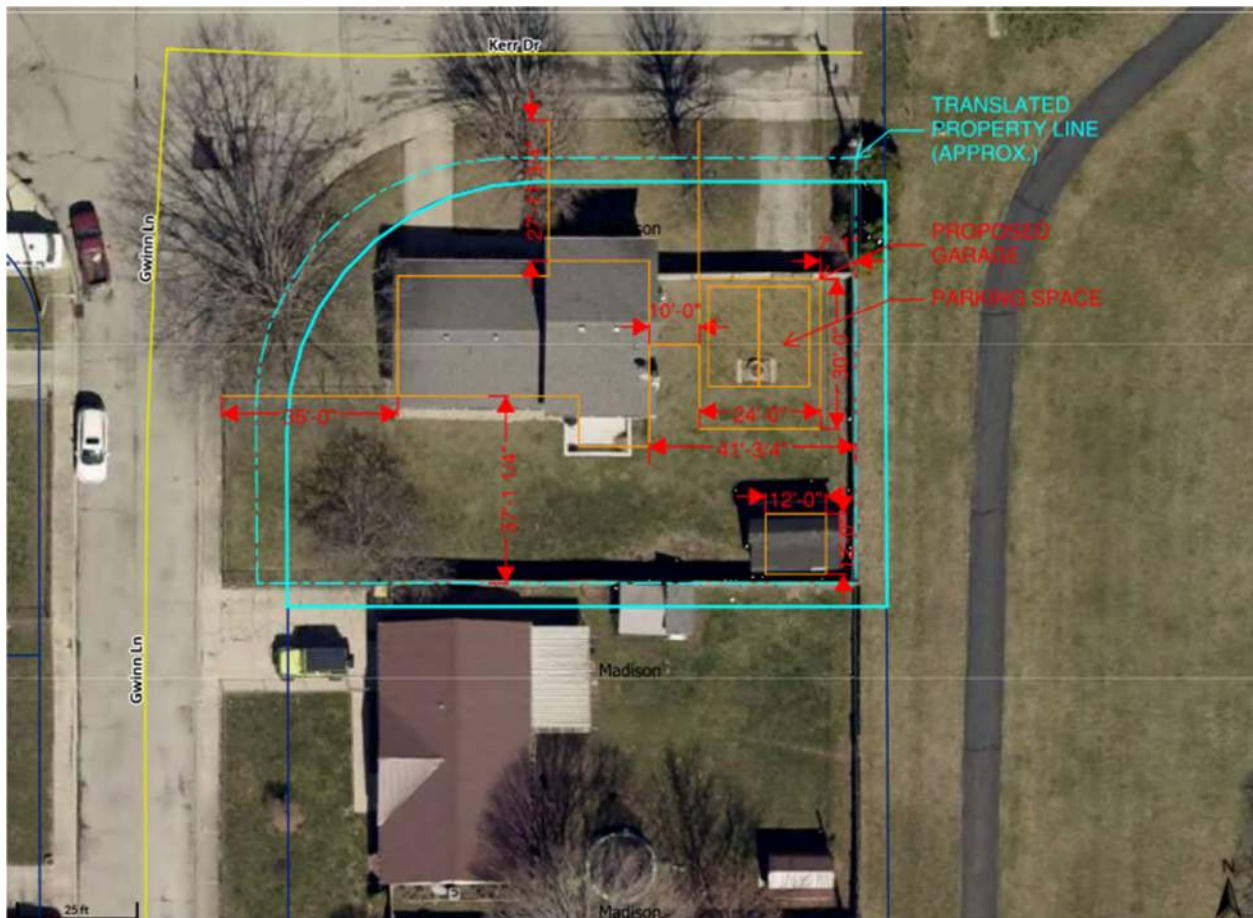


Figure 3. Staff's analysis of space available on the property. Dimensions are approximate and may not accurately represent the true size and locations of property lines, setbacks, structures, and yards.

Analysis of Practical Difficulty

The site plan originally submitted by the petitioner (Exhibit 4) showed a lot that is 125' long east to west and between 103' and 113' deep north to south depending on what set of measurements you add together. Based on the drawing, some of these measurements are taken from the street, which is not necessarily the legal front property line. Figure 3 (above) shows an approximation based on the county property records dimensions of the house and existing shed and county GIS plotting of the property lines. According to these measurements, the property is about 120' long by about 84'6" deep. The petitioner submitted a copy of the original subdivision plat (Exhibit 7), which shows that the lot is indeed 120' long by 85' deep. The plat also shows a 7.5-foot utility easement along the east side of the property.

Based on the plat, the petitioner submitted a revised site plan (Exhibit 8) that meets the 10-foot setback requirement (and thus remains clear of the easement), but results in the garage being built only 5.5' from the primary structure. V 3.2.6.D.iii requires 10' of separation between an accessory structure and the primary structure or other accessory structures. Therefore, while the petitioner now proposes to meet the setback standard, a variance is still required to allow the reduced separation.

The purpose of requiring 10' of separation is to prevent structures from crowding one another and provide enough space for emergency services (or other private vehicles) to pass between structures. A minimum of 5' is suggested to ensure that first responders can carry necessary equipment on foot between structures if the need arises. The revised site plan proposes a separation of 5.5', which meets the suggested minimum.

At best, there is less than 40 feet between the house and the side property line on Gwinn (south side yard) and a little bit more than 40 feet between the house and the side property line shared with Woodward Park (east side yard). Therefore, neither side yard has the space for an accessory structure of this size. It would be possible to meet the required setback in the east side yard, but doing so would cause the garage to encroach on the 10' of separation between structures required by UDO V3.2.6.D.iii, so a Variance of Development Standards would still be required. The site plan submitted by the petitioner shows only 8' of separation, which would not be allowed without an additional variance. The petitioner did not submit evidence of their need for a garage of this size. If upon questioning the Board finds that there is sufficient need for a garage of this size, then there is practical difficulty in meeting the cited ordinance.

Variance of Development Standards Criteria

In order to approve a variance of development standards, the BZA needs to find that three (3) criteria are met. The applicant proposes their findings to these criteria in their application (Exhibit 3). Staff proposes their findings of fact below.

VARIANCE OF DEVELOPMENT STANDARDS FINDINGS

If the Board should decide to APPROVE the requested Variance of Development Standards, please use the following findings of fact:

The Lapel Board of Zoning Appeals is authorized to approve or deny Variances of Development Standards by Indiana Code 36-7-4-918.5 and by Lapel UDO V1.6.3. The BZA may impose reasonable conditions as part of its approval. A Variance of Development Standards may be approved upon a determination in writing that the following three (3) criteria are met (V1.6.9.A):

- **The approval will NOT be injurious to the public health, safety, morals, and general welfare of the community:**

The proposed garage can either meet the setback requirement or the separation requirement but cannot meet both. In either case, the proposed garage is still entirely on the subject property. Its encroachment on the required side yard is insignificant given that there are no structures directly east of the property that may be "crowded" by it; its encroachment on the required separation will prevent an emergency vehicle from passing between the proposed garage and the house, but given the size of the property and the ability to access the rear of the home from the other side yard, this does not injure public safety.

- **The use and value of the area adjacent to the property included in the variance will NOT be affected in a substantially adverse manner:**

It is likely that the use and value of real estate adjacent to the subject site will NOT be affected in a substantially adverse manner by allowing the requested variance. Nearby property owners may remonstrate against this petition if they believe this request will have significant adverse effects on adjacent properties. Should nothing contrary be brought to light by adjacent owners at the public hearing, it is presumed that the approval of this variance request will not have a substantially adverse effect on the use and value of adjacent properties.

- **The strict application of the terms of this Ordinance WILL result in a practical difficulty in the use of the property.**

Strict application of the side setback requirement in the proposed location will create conflicts with another development standard. The other side yard is even smaller, making the compliance issue larger if the garage were located in the other yard. Given the attested need for additional storage and/or parking space, there is no practical way to provide that space while adhering strictly to the ordinances.

CORRESPONDENCE

Staff received the following comment via email:

"I wish to remain anonymous, but I live in the neighborhood.

We saw the house was sold, and the next day the new family moved in. We thought it was odd that within a week, the new owner was tearing up half the yard, and 6ft high piles of dirt have been on the property line for well over a month now. The new property owner should have gotten permits before starting a major project. Why should we allow a brand new person to the neighborhood to bend existing code, where it would only benefit himself? Honesty, we think the new neighbors are doing a bit too much, too fast. They didn't even take the chance to settle in. If the two car garage doesn't fit, then do a one car garage, and get permits first next time? Building codes exist for a reason, just because they are new, doesn't mean they get an exception."

The comment takes issue with the applicant's conduct in adapting the property to suit him and with the perceived violation of the proper order of the development approval process. To clarify, failure to seek approval of a variance or special use prior to development is NOT grounds for denial of said variance or special use as property owners must be allowed to seek these approvals as remedy for code violations. Similarly, having to undo or demolish any alterations to the property that violate the ordinance does NOT generally represent a practical difficulty or undue hardship.

RECOMMENDATION

APPROVE the requested Variances of Development Standards based upon the following findings of fact:

- The approval **will not** be injurious to the public health, safety, morals, and general welfare of the community;
- The use and value of the area adjacent to the property included in the variance **will not** be affected in a substantially adverse manner;
- The strict application of the terms of this Ordinance **will** result in a practical difficulty in the use of the property.

With the following specific conditions:

1. The Applicant shall sign the Acknowledgement of Variance of Development Standards/Special Use document prepared by the Lapel Planning Staff within 60 days of this approval. Staff will then record this document against the property and file of stamped copy of such recorded document shall be available in the Lapel Town Hall.
2. Any alterations to the approved building plan or site plan, other than those required by the Board of Zoning Appeals (BZA), shall be submitted to the Planning Department prior to the alterations being made, and if necessary, a BZA hearing shall be held to review such changes.
3. The Applicant shall ensure that the garage does not encroach upon the utility easement.

MOTION OPTIONS

- Motion to **approve** the Variance of Development Standards to permit the construction of an accessory structure encroaching upon the required side yard as per submitted application BZA-2026-02 based upon the findings of fact {listed by the applicant, and/or presented by staff, and/or any other findings of fact added during the BZA discussion} with specific conditions proposed by staff.
- Motion to **deny** the Variance of Development Standards for the subject real estate as per submitted application BZA-2026-02 because... (List reasons, findings of fact)
- Motion to **continue** the review of the application BZA-2026-02 until the next regular meeting on *November 5, 2026*, because ... (list reasons).

EXHIBIT 1. VICINITY MAP

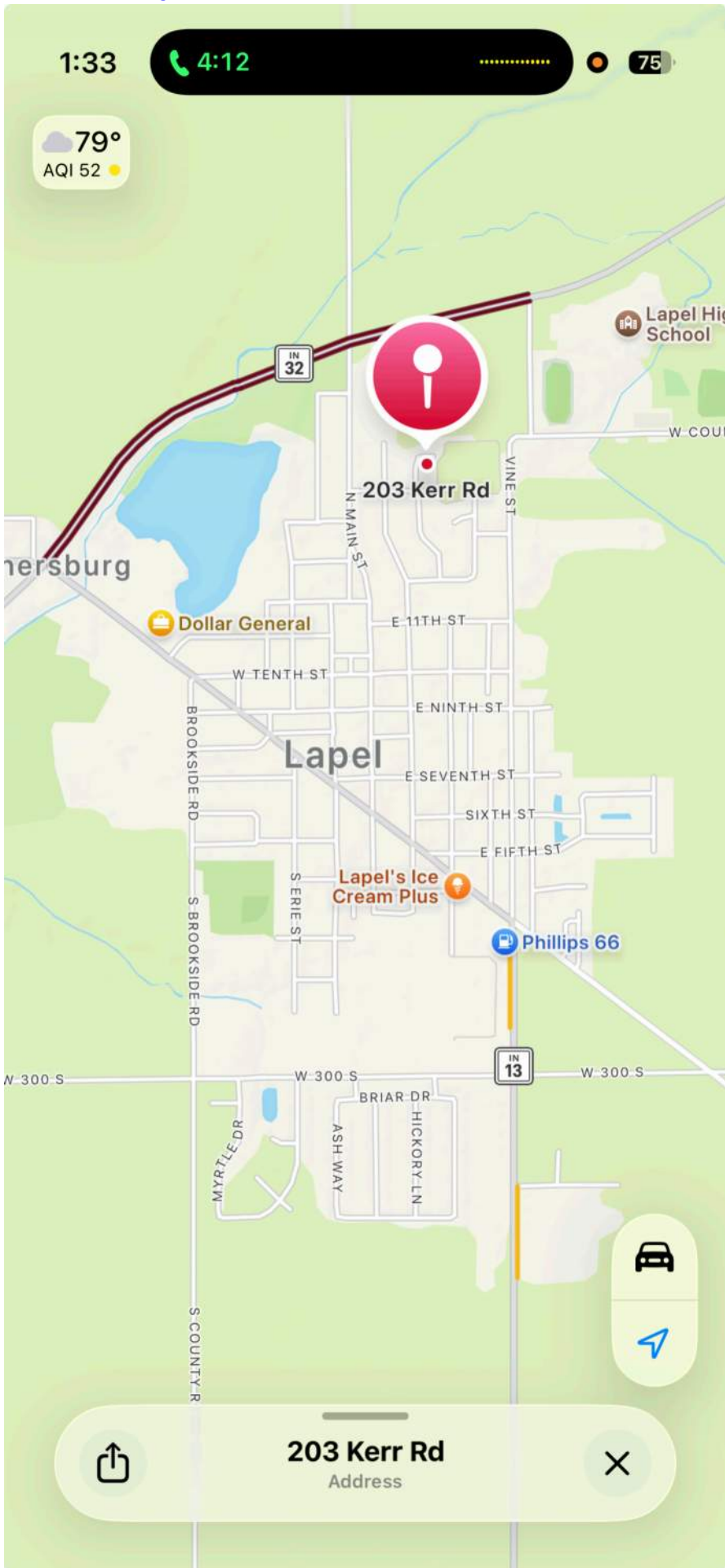


EXHIBIT 2. ZONING MAP

Lapel Interactive Zoning Map

Overview AG R1 R2 R3 C1 C2 IS IL IG PO

Introduction

This Unified Development Code shall serve to guide future development in accordance to the goals and objectives outlined in the Town of Lapel's Comprehensive Plan. Specifically, its primary purpose to protect the general health, safety, and welfare of residents. The regulations and standards of the Code are meant to create stability within zoning districts, such that each zoning district allows a predictable range of compatible uses and building types.

Organization

This interactive map is organized in such a manner as to direct the user to the applicable Volume according to area of interest. For example, if your home is located in an R1 District, you would simply click the R1 tab, above, to navigate to the applicable standards for that district. The interactive map is divided into ten individual zoning districts:

Ag - Agricultural District

R1 - Single-family Residential: Suburban Neighborhood

R2 - Single-family Residential: Traditional Neighborhood

R3 - Multi-family Residential

C1 - General Commercial

C2 - Downtown Commercial

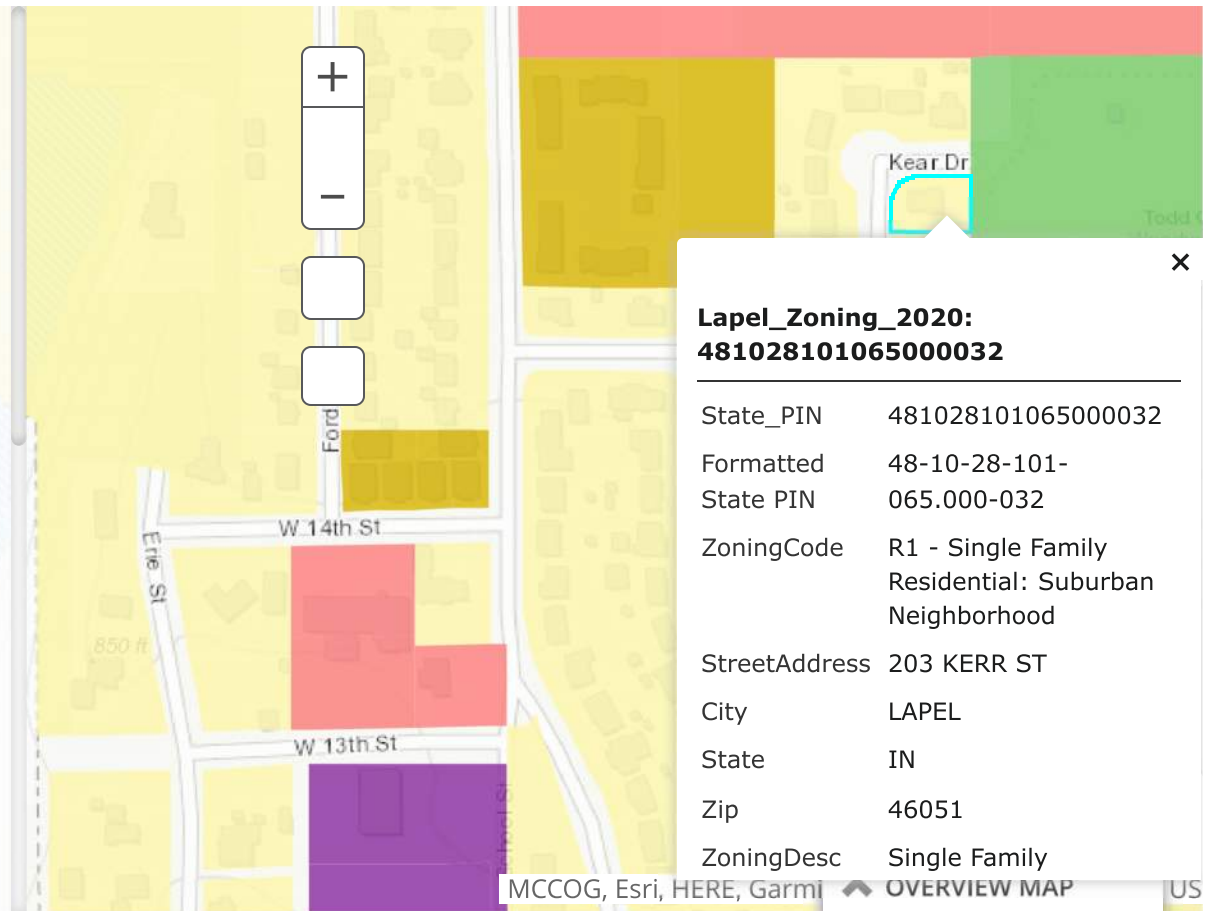


EXHIBIT 3. APPLICATION



TOWN OF LAPEL

1011 Main St., Lapel, IN 46051

planadmin@lapelindiana.org

BZA APPLICATION

* Required sections to fill out

Application type*:

- ☒ Variance(s) of Development Standards
- ☐ Variance(s) of Floodplain Standards
- ☐ Variance of Use
- ☐ Special Use
- ☐ Administrative Appeal

For office use only:

App No: BZA-2026-02
Date received: 8/27/2026
App fee: \$325
Fee paid by: ☒ Cash ☐ Check ☐ Card
Check #: _____

PROPERTY INFORMATION* ☐ This property needs an address assigned (fill out parcel IDs below)

Address/Location: 203 Kerr Drive, Lapel, IN 46051

Parcel(s)' ID(s):

48-10-28-101-065.000-032

Current use:

Residential

Current zoning: R1

Request code reference:

V3.2.6.5

Project total size: 24'x30' Acres

Request description:

Plan to build a detached 2 car garage that is 5 feet from my side setback property line. The current setback is 10 feet. So I am asking to build the garage 5 feet within the side setback instead of 10 feet.

PROPERTY OWNER INFORMATION*

Name:

Mark Bobay

Mailing address:

203 Kerr Drive

City/Town:

Lapel

Zip code: 46051

Email:

bo_bay88@icloud.com

Phone #: 317-969-9658

APPLICANT INFORMATION* ☒ Same as owner

Name:

Title:

Company name:

Mailing address:

City/Town:

Zip code:

Email:

Phone #:

NOTE: The person listed as applicant will be contacted regarding all applications steps and payments, including being contacted by the newspaper publisher for Legal Notice payment.

COMPLIANCE WITH VARIANCE OF DEVELOPMENT STANDARDS CRITERIA*

The Lapel Board of Zoning Appeals (BZA) is authorized to approve or deny Variances of Development Standards from the terms of the Unified Development Ordinance. The BZA may impose reasonable conditions as part of its approval. A Variance of Development Standards may be approved only upon a determination in writing that the following three (3) statements are true (see Indiana Code § 36-7-4-918.5):

1. The approval will not be injurious to the public health, safety, morals, and general welfare of the community because:

The proposed detached garage will be located entirely on my property and will not interfere with neighboring properties, public access, or emergency access. The proposed location provides adequate access around the existing structures and will not create a safety hazard to the public. The structure will also be constructed in accordance with applicable building and safety requirements.

2. The use and value of the area adjacent to the property included in the variance will not be affected in a substantially adverse manner by the approval of this variance request because:

The property immediately adjacent to the proposed garage is the Town of Lapel park. The garage will remain entirely on my property and will not encroach on the park or interfere with the public access, use, maintenance, or enjoyment of the park. The proposed location will have no substantial adverse effect on the use or value of adjacent property.

3. The strict application of the terms of the zoning ordinance will result in practical difficulties in the use of the subject property because:

The current property has only one-car garage and has limited space available for additional parking and storage. Strict enforcement of the required setback would substantially limit the usable portion of the property and make it difficult to reasonably locate a detached garage while maintaining adequate parking, access, and usable yard space. The proposed location allows the property to make reasonable use of its available space while maintaining access and minimizing any impact on surrounding properties. the requested variance would allow for adequate parking and storage of the household without adversely affecting the adjacent Town park or neighboring properties.

OWNER AFFIDAVIT

STATE OF ^{MB} ~~INDIANA~~ OHIO
COUNTY OF ^{MB} ~~INDSON~~ MIAMI S.S.

The undersigned, having been duly sworn on oath, states that they are the Owner of the Property involved in this application and that they hereby acknowledge and consent to the forgoing Application.

Owner printed name**: Mark Bobay

Owner signature**: 

Before me the undersigned, a Notary Public in and for said County and State, personally appeared the Property Owner, who having been duly sworn acknowledged and consents to the execution of the foregoing Application.

Subscribed and sworn to before me this 27 day of August, 2026.



LILLIAN SHOFFNER
Notary Public
State of Ohio
My Comm. Expires
August 6, 2030

Notary printed name: Lillian Shoffner

Notary signature: 

My commission expires: Aug 6th 2030

*** A signature from each party having interest in the property involved in this application is required. If the Property Owner's signature cannot be obtained on the application, then a notarized statement by each Property Owner acknowledging and consenting to the filing of this application is required with the application.*

APPLICANT AFFIDAVIT

STATE OF ^{MB}~~Indiana~~ OHIO
COUNTY OF ^{MB}~~Madison~~ MIAMI S.S.

The undersigned, having been duly sworn on oath, states that the information in the Application is true and correct as they are informed and believe.

Applicant printed name: Mark Bobay

Applicant signature: 

Subscribed and sworn to before me this 27 day of August, 20 26.

Notary printed name: Lillian Shoffner

Notary signature: 

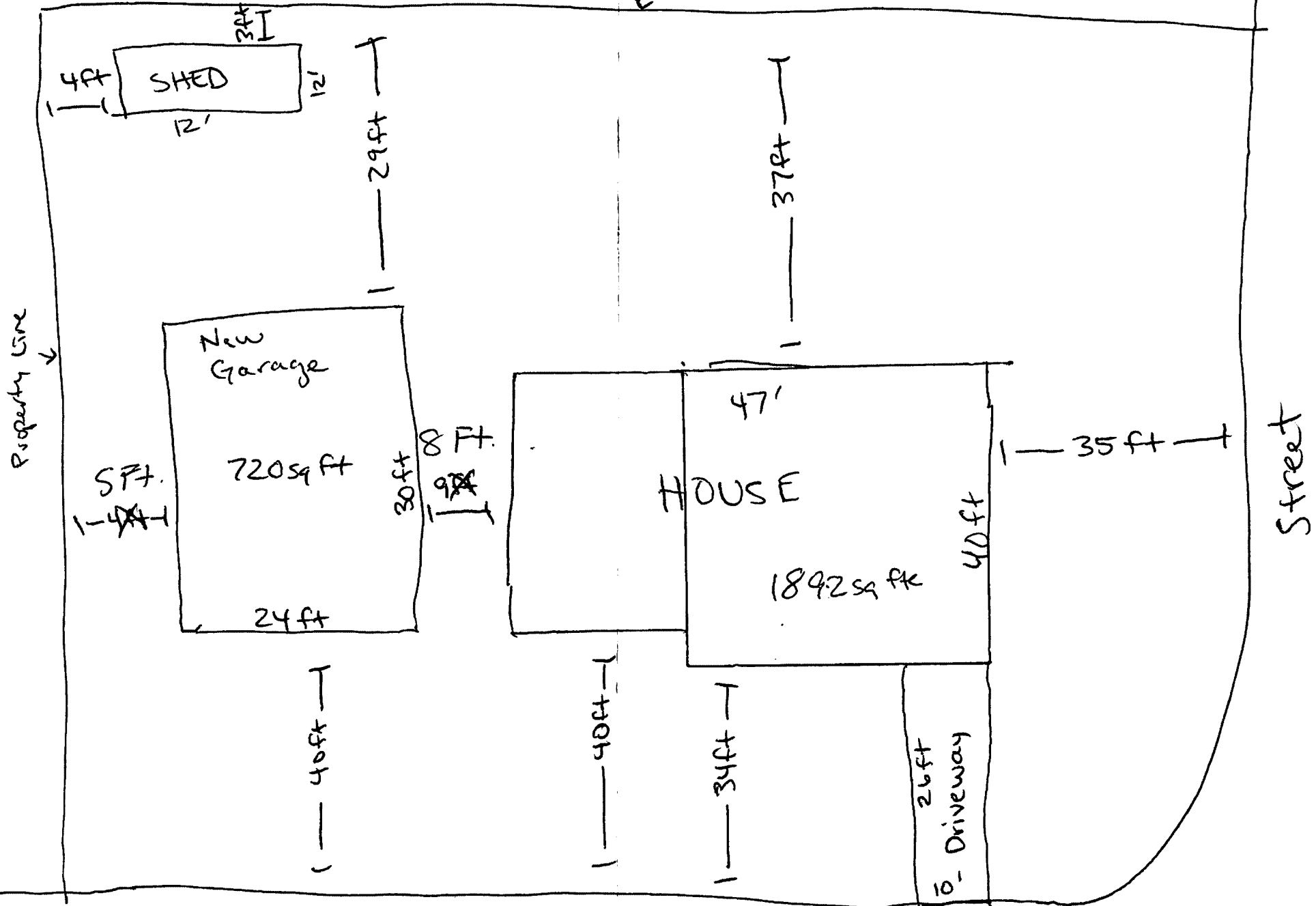
My commission expires: AUG 6th 2030



LILLIAN SHOFFNER
Notary Public
State of Ohio
My Comm. Expires
August 6, 2030

EXHIBIT 4. SITE PLAN AND ELEVATIONS

Property Line



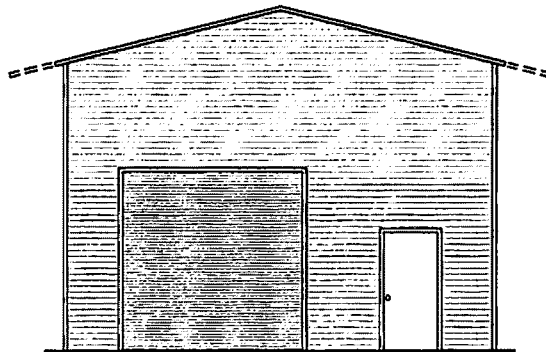
STREET

REVIEWER NOTE: THIS STRUCTURE IS DESIGNED AND DRAWN TO MEET
2018 IBC

Eagle Carports

"Flying High with Great Deals"

800-579-8589



(PARTIALLY ENCLOSED) GABLE END BUILDING

<24' WIDE X <16' EAVE HEIGHT WITH BOX FRAME / (UP TO) 145 M.P.H. WIND ZONE ~ 35 P.S.F. SNOW LOAD

MARK BOBAY
203 Kerr Drive
Lapel, IN 46051

PROJECT NUMBER : 0426-1672

ISSUE DATE : 08/19/2026

JCMT

ASSOCIATES, PLLC

PO BOX 27
PILOT MOUNTAIN, NC28641
828-310-7160



THESE PLANS HAVE BEEN PROPERLY
EXAMINED BY THE UNDERSIGNED.
DETERMINED THAT THEY COMPLY WITH
EXISTING LOCAL INDIANA CODES AND
ARE APPROPRIATE FOR USE IN THIS
AREA

NOTE: THESE DRAWINGS ARE VALID FOR (1) CALENDAR YEAR AFTER THE ISSUE DATE LISTED ON THIS SHEET.

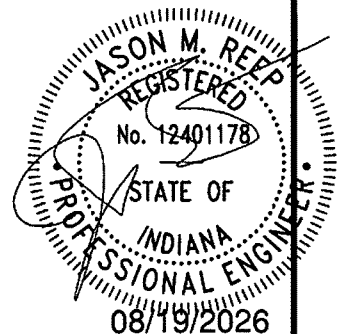
SHEET INDEX

SHEET NUMBER SHEET TITLE

SD	SEALED COVER SHEET
S1	DRAWING INDEX
S2	GENERAL NOTES
S3	LOAD SUMMARY
S4	SIDE AND END ELEVATIONS
S5	TYPICAL RAFTER / COLUMN FRAME SECTIONS ($\leq 16'H$ / $\leq 24'W$)
S5A	TYPICAL RAFTER / COLUMN FRAME SECTIONS ($\leq 16'H$ / $\leq 24'W$ / 3' SOFFIT)
S5B	TYPICAL SIDE FRAME SECTIONS
S6	BOX EAVE / SINGLE COLUMN SECTION ($\leq 14'H$)
S6A	BOX EAVE / SINGLE COLUMN SECTION ($\leq 14'H$ / 3' SOFFIT)
S6B	BOX EAVE / DOUBLE COLUMN SECTION ($\leq 16'H$)
S6C	BOX EAVE / DOUBLE COLUMN SECTION ($\leq 16'H$ / 3' SOFFIT)
S7	BASE RAIL ANCHORAGE / SINGLE COLUMN
S7A	BASE RAIL ANCHORAGE / SINGLE COLUMN (NO SLAB)
S7B	BASE RAIL ANCHORAGE / SINGLE COLUMN / CLIP (NO SIDING SHELF)
S7C	BASE RAIL ANCHORAGE / SINGLE COLUMN / CLIP (NO SLAB / NO SIDING SHELF)
S7D	BASE RAIL ANCHORAGE / SINGLE COLUMN / TUBE (NO SIDING SHELF)
S7E	BASE RAIL ANCHORAGE / SINGLE COLUMN / TUBE (NO SLAB / NO SIDING SHELF)
S7F	BASE RAIL ANCHORAGE / DOUBLE COLUMN
S7G	BASE RAIL ANCHORAGE / DOUBLE COLUMN (NO SLAB)
S7H	BASE RAIL ANCHORAGE / DOUBLE COLUMN (NO SIDING SHELF)
S7J	BASE RAIL ANCHORAGE / DOUBLE COLUMN (NO SLAB / NO SIDING SHELF)
S8	BASE RAIL ANCHORAGE (SOIL)
S8A	BASE RAIL ANCHORAGE (ASPHALT)
S9	TYPICAL BOX EAVE / END WALL FRAMING AND OPENINGS
S9A	TYPICAL BOX EAVE / END WALL FRAMING AND OPENINGS

SHEET NUMBER SHEET TITLE

S10	CONNECTION DETAILS
S11	NOT USED
S12	CONNECTION DETAILS
S13	CONNECTION DETAILS
S14	BOX EAVE RAFTER / SINGLE & DOUBLE RAFTER LEAN-TO OPTIONS
S14A	BOX EAVE RAFTER / LACED RAFTER LEAN-TO OPTIONS
S14B	LEAN-TO HIP OPTIONS
S15	LEAN-TO CONNECTION DETAILS / SINGLE COLUMN
S15A	LEAN-TO CONNECTION DETAILS / DOUBLE COLUMN
S15B	LEAN-TO CONNECTION DETAILS / LACED RAFTER / SINGLE COLUMN
S15C	LEAN-TO CONNECTION DETAILS / LACEO RAFTER / DOUBLE COLUMN
S15D	LEAN-TO / MAIN FRAME CONNECTION DETAILS
S15E	LEAN-TO / MAIN FRAME CONNECTION DETAILS
S15F	LEAN-TO / MAIN FRAME CONNECTION DETAILS
S15G	LEAN-TO / MAIN FRAME CONNECTION DETAILS
S15H	END WALL COLUMN / HIP RAFTER CONNECTION DETAIL
S16	VERTICAL ROOF / SIDING OPTION
S16A	VERTICAL ROOF / SIDING OPTION
S16B	VERTICAL ROOF / SIDING OPTION
S17	SIDE WALL HEADER OPTIONS
S17A	END WALL HEADER OPTIONS



JCMT
ASSOCIATES, PLLC

PO BOX 27
PILOT MOUNTAIN, NC28641
828-310-7160

V2.3

MARK BOBAY
203 Kerr Drive
Lapel, IN 46051

DRAWN BY:
BKS

PROJECT NO:
0426-1672

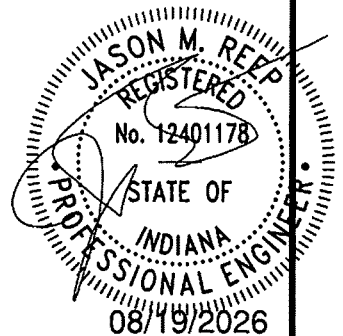
DATE:
08/19/2026

SHEET NO:
S1

NOTE: THESE DRAWINGS ARE VALID FOR (1) CALENDER YEAR AFTER THE ISSUE DATE LISTED ON THIS SHEET.

GENERAL NOTES

1. MAX. FRAME SPACING SHALL BE 60"oc UNLESS NOTED OTHERWISE.
2. MAX. END-WALL COLUMN SPACING SHALL BE 60"oc UNLESS NOTED OTHERWISE.
3. TUBE MATERIAL SHALL BE 2-1/2" x 2-1/2" x 14ga. 50 K.S.I. MIN. UNLESS NOTED OTHERWISE.
4. ALL FASTENERS SHALL BE #12 SELF TAPPING UNLESS NOTED OTHERWISE.
5. 1,500 P.S.F. ASSUMED BEARING CAPACITY UNLESS NOTED OTHERWISE.
6. EXTERIOR SIDING SHALL BE FASTENED WITH #12 SELF TAPPING SCREWS AT 9"oc.
7. ALL WELDING SHOULD BE PERFORMED IN THE FABRICATION SHOP, NO FIELD WELDING SHOULD BE PERFORMED ON THIS PROJECT.
8. THESE DRAWINGS ARE NOT DESIGNED FOR SLEEPING QUARTERS.
9. THESE DRAWINGS ARE NOT APPLICABLE TO OPEN OR ENCLOSED BUILDINGS.



JCMT ASSOCIATES, PLLC PO BOX 27 PILOT MOUNTAIN, NC28641 828-310-7160	MARK BOBAY 203 Kerr Drive Lapel, IN 46051 V2.3	DRAWN BY: BKS	PROJECT NO: 0426-1672
		DATE: 08/19/2026	SHEET NO: S2

NOTE: THESE DRAWINGS ARE VALID FOR (1) CALENDER YEAR AFTER THE ISSUE DATE LISTED ON THIS SHEET.

LOAD SUMMARY

DESIGN LOADS:

IMPORTANCE FACTORS WIND (1w) 1.00
 SNOW (1s) 1.00
 SEISMIC (1e) 1.00

DEAD LOADS ROOF 13 P.S.F.
 ROOF COLLATERAL 0 P.S.F.

LIVE LOADS ROOF 20 P.S.F.

GROUND SNOW LOAD: 20 P.S.F. * DRIFT LOAD HAS NOT BEEN CALCULATED

ROOF SNOW LOAD: 14.0 PSF

WIND LOAD: BASIC WIND SPEED 115 M.P.H. ASCE: 7-10
 EXPOSURE CATAGORY B

SEISMIC DESIGN CATAGORY ☐ A ☒ B ☐ C ☐ D

PROVIDE THE FOLLOWING SEISMIC DESIGN PARAMETERS:

OCCUPANCY CATEGORY I

SPECTRAL RESPONSE ACCELERATION S_s 13.6 %g S₁ 7.7 %g

SITE CLASSIFICATION D ☐ FIELD TEST ☒ PRESUMPTIVE ☐ HISTORICAL DATA

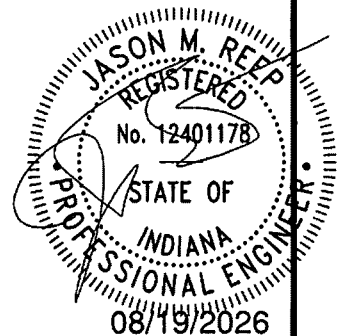
BASIC STRUCTURAL SYSTEM (CHECK ONE)

<u> </u> BEARING WALL	<u> </u> DUAL W/ SPECTRAL MOMENT FRAME
<u>X</u> BUILDING FRAME	<u> </u> DUAL W/ INTERMEDIATE R/C OR SPECIAL STEEL
<u> </u> MOMENT FRAME	<u> </u> INVERTED PENDULUM

ANALYSIS PROCEDURE SIMPLIFIED X EQUIVALANT LATERAL FORCE MODAL

LATERAL DESIGN CONTROL? EARTHQUAKE X WIND

SOIL BEARING CAPACITIES:
PRESUMPTIVE BEARING CAPACITIES: 1,500 P.S.F.



JCMT
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PO BOX 27
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828-310-7160

V2.3

MARK BOBAY
203 Kerr Drive
Lapel, IN 46051

DRAWN BY:
BKS

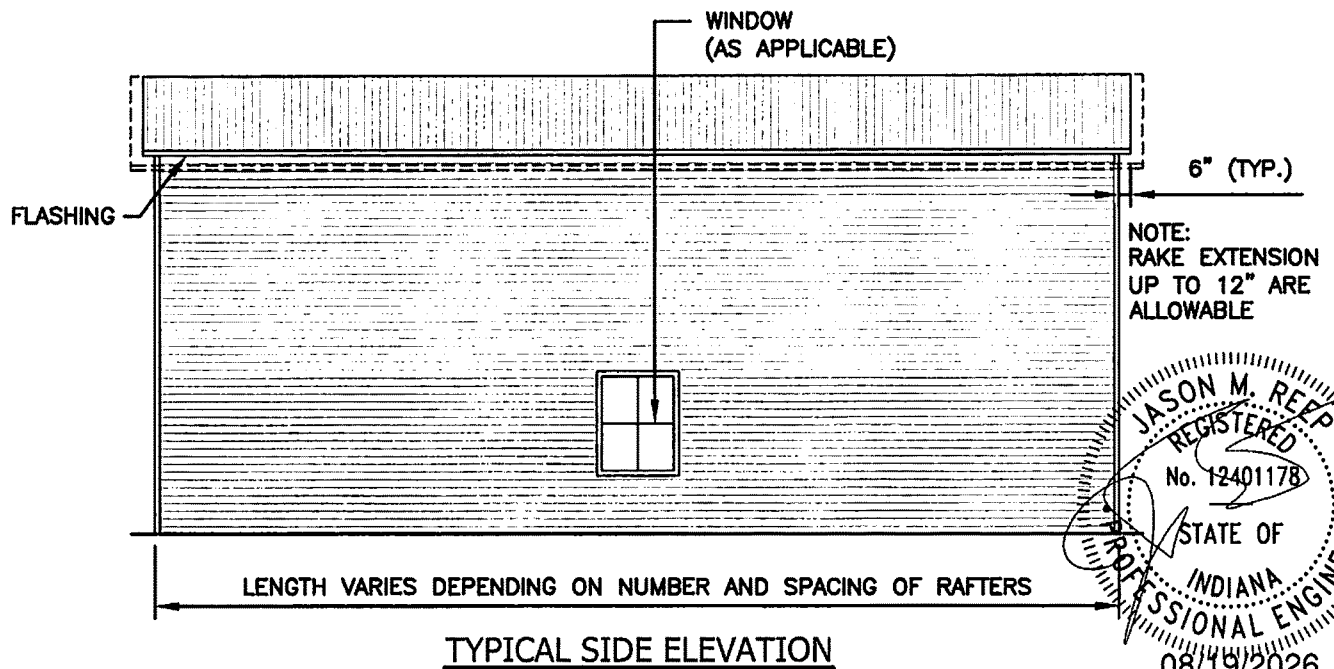
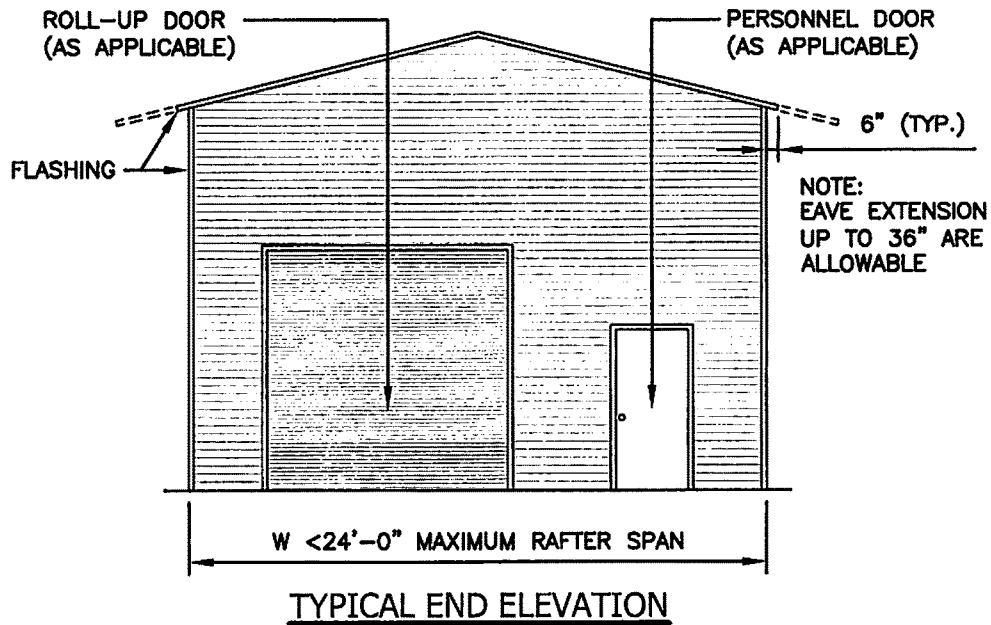
PROJECT NO:
0426-1672

DATE:
08/19/2026

SHEET NO:
S3

NOTE: THESE DRAWINGS ARE VALID FOR (1) CALENDER YEAR AFTER THE ISSUE DATE LISTED ON THIS SHEET.

BOX EVE FRAME RAFTER STURCTURE



JCMT
ASSOCIATES, PLLC
PO BOX 27
PILOT MOUNTAIN, NC28641
828-310-7160

V2.3

MARK BOBAY
203 Kerr Drive
Lapel, IN 46051

DRAWN BY:
BKS

PROJECT NO:
0426-1672

DATE:
08/19/2026

SHEET NO:
S4

NOTE: THESE DRAWINGS ARE VALID FOR (1) CALENDER YEAR AFTER THE ISSUE DATE LISTED ON THIS SHEET.

EXHIBIT 5. STAFF SITE PLAN TRANSLATION

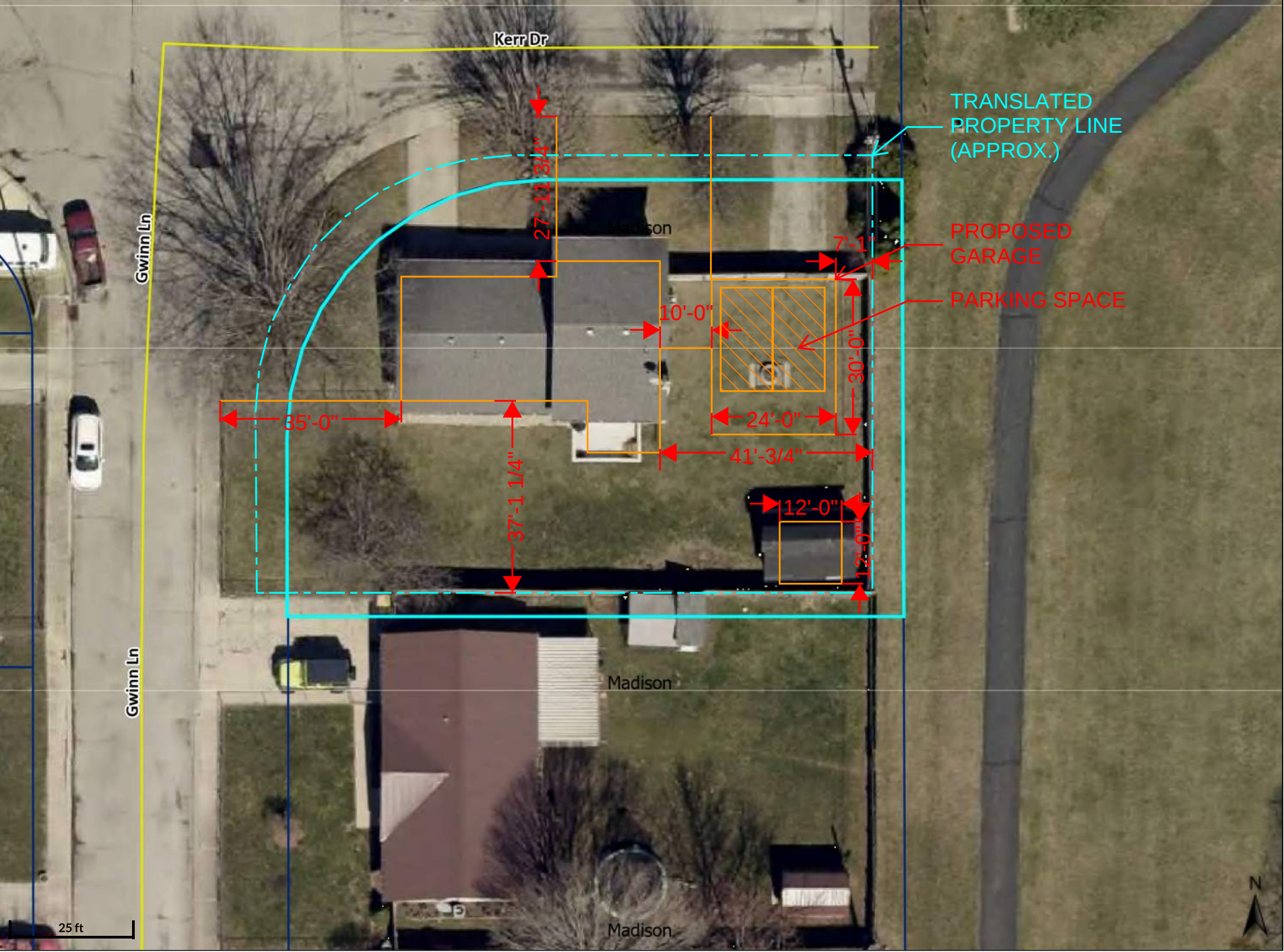


EXHIBIT 6. 2026 PROPERTY CARD

General Information

Occupancy

Single-Family

Description

Single-Family

Story Height

2

Style

N/A

Finished Area

1592 sqft

Make

Floor Finish

☐ Earth

☐ Tile

☐ Slab

☐ Carpet

☐ Sub & Joist

☐ Unfinished

☐ Wood

☐ Other

☐ Parquet

Wall Finish

☐ Plaster/Drywall

☐ Unfinished

☐ Paneling

☐ Other

☐ Fiberboard

Roofing

☐ Built-Up

☐ Metal

☒ Asphalt

☐ Slate

☐ Tile

☐ Wood Shingle

☐ Other

Exterior Features

Description

Area

Value

Patio, Concrete

140

\$1,200

Plumbing

#

TF

Full Bath

1

3

Half Bath

1

2

Kitchen Sinks

1

1

Water Heaters

1

1

Add Fixtures

0

0

Total

4

7

Accommodations

Bedrooms

3

Living Rooms

Dining Rooms

0

Family Rooms

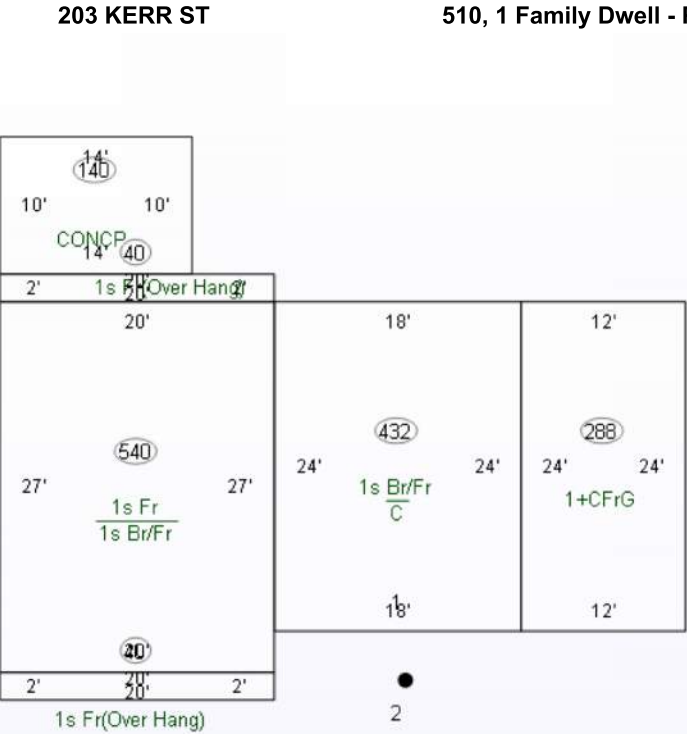
1

Total Rooms

7

Heat Type

Central Warm Air



Specialty Plumbing		
Description	Count	Value

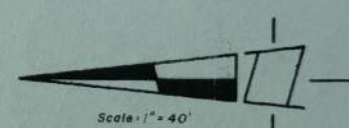
510, 1 Family Dwell - Platted Lot

NE281906 MEADOWS/3128 2/2

Cost Ladder					
Floor	Constr	Base	Finish	Value	Totals
1	92	1052	1052	\$137,000	
2	1Fr	540	540	\$57,200	
3					
4					
1/4					
1/2					
3/4					
Attic					
Bsmt					
Crawl		432	0	\$4,700	
Slab					
				Total Base	\$198,900
Adjustments				1 Row Type Adj. x 1.00	\$198,900
Unfin Int (-)					\$0
Ex Liv Units (+)					\$0
Rec Room (+)					\$0
Loft (+)					\$0
Fireplace (+)					\$0
No Heating (-)					\$0
A/C (+)				1:1052 2:540	\$6,800
No Elec (-)					\$0
Plumbing (+ / -)				7 – 5 = 2 x \$1,400	\$2,800
Spec Plumb (+)					\$0
Elevator (+)					\$0
				Sub-Total, One Unit	\$208,500
				Sub-Total, 1 Units	
Exterior Features (+)				\$1,200	\$209,700
Garages (+) 288 sqft				\$16,200	\$225,900
Quality and Design Factor (Grade)				1.00	
Location Multiplier				1.00	
				Replacement Cost	\$225,900

Summary of Improvements																						
Description	Story Height	Constr Type	Grade	Year Built	Eff Year	Eff Co Age	nd	Base Rate	LCM	Adj Rate	Size	RCN	Norm Dep	Remain. Value	Abn Obs	PC	Nbhd	Mrkt	Cap 1	Cap 2	Cap 3	Improv Value
1: Single-Family	2	1/6 Maso	C	1976	1976	50	A		1.00		1,592 sqft	\$225,900	35%	\$146,840	0%	100%	1.120	1.000	100.00	0.00	0.00	\$164,500
2: Utility Shed	1	SV	D	1999	1999	27	F		1.00		12'x12'		65%		0%	100%	1.120	1.000	100.00	0.00	0.00	\$300

July 12



corner of Lot 39 in
acres 331.33, East 1/4
attracted to


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EXHIBIT 8. REVISED SITE PLAN

Book 13
pg 122

Mark Bobay
203 Kerr Dr. 46051

